



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Application #

15-0759

Date:

11-24-15

Total Fees:

\$ 1,008.55

Received by:

Lavel O'Halloran

APPLICANT/OWNER:

Project Address: 1152 Forest Ave.

APN: 007-651-022

Project Description: Extra mile Price Sign

Keep the storage Area on the property

Applicant

Name: MAHESH KONDURU

Phone: 209 423 1420

Email: DRKONDURU@YAHOO.COM

Mailing Address: 1152 FOREST AVE

PACIFIC GROVE CA 93940

Owner

Name: MAHESH KONDURU

Phone: 209 423 1420

Email: DRKONDURU@YAHOO.COM

Mailing Address: 1152 FOREST AVE

PACIFIC GROVE CA

PLANNING STAFF USE ONLY:

Permit Request:

- | | | | |
|---|---|--|---|
| <input type="checkbox"/> CRD: Counter Determination | <input type="checkbox"/> AUP: Administrative UP | <input type="checkbox"/> IHS: Initial Historic Screening | <input type="checkbox"/> AVAR: Administrative VAR |
| <input type="checkbox"/> AP: Architectural Permit | <input type="checkbox"/> UP-A: UP Amendment | <input type="checkbox"/> HPP: Historic Preservation | <input type="checkbox"/> VAR-A: VAR Amendment |
| <input type="checkbox"/> AAP: Administrative AP | <input type="checkbox"/> AUP-A: AUP Amendment | <input type="checkbox"/> HD: Historic Determination | <input type="checkbox"/> AVAR-A: AVAR Amendment |
| <input type="checkbox"/> ADC: AP Design Change | <input type="checkbox"/> SU: Second Unit | <input type="checkbox"/> TPD: Tree Permit W/ Dev't | <input type="checkbox"/> MMP: Mitigation Monitoring |
| <input checked="" type="checkbox"/> SP: Sign Permit | <input type="checkbox"/> LLA: Lot Line Adjustment | <input type="checkbox"/> PUU: Undocumented Unit | <input type="checkbox"/> Stormwater Permit |
| <input type="checkbox"/> UP: Use Permit | <input type="checkbox"/> LM: Lot Merger | <input type="checkbox"/> VAR: Variance | <input type="checkbox"/> Other: |

CEQA Determination:

- ☒ Exempt
☐ Initial Study & Mitigated Negative Declaration
☐ Environmental Impact Report

Review Authority:

- | | |
|---|------------------------------|
| <input type="checkbox"/> Staff | <input type="checkbox"/> HRC |
| <input type="checkbox"/> ZA | <input type="checkbox"/> PC |
| <input type="checkbox"/> SPRC | <input type="checkbox"/> CC |
| <input checked="" type="checkbox"/> ARB | <input type="checkbox"/> |

Active Permits:

- ☒ Active Planning Permit
☐ Active Building Permit
☐ Active Code Violation
Permit #:

Overlay Zones:

- ☐ Butterfly Zone
☐ Coastal Zone
☐ Area of Special Biological Significance (ASBS)
☐ Environmentally Sensitive Habitat Area (ESHA)

Property Information

Lot: _____

Block: _____

Tract: Desc As Parcel

ZC: C-FH

GP: Commercial

Lot Size: 16,537 sf

☐ Historic Resources Inventory

☐ Archaeologically Sensitive Area

Staff Use Only:

PAID
1,010.55
11-24-15

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: _____

Date: 11/24/15

Owner Signature (Required): _____

Date: 11/24/15



CITY OF PACIFIC GROVE

Community Economic Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

SIGN PERMIT (SP) 15-759

FOR A PROPERTY LOCATED AT 1152 FOREST AVENUE TO ALLOW AN ILLUMINATED CAN SIGN OF 36.8 SQUARE FEET (8 FEET 10 INCHES WIDTH BY 4 FEET 2 INCHES HEIGHT) FOR THE “EXTRA MILE” LOGO.

FACTS

1. The subject site is located at 1152 Forest Ave, Pacific Grove, 93950 (APN: 007-651-022)
2. The subject site has a designation of Commercial on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the Forest Hill Commercial (C-FH) zoning district.
4. The subject site is an interior lot of approximately 16,537 square feet.
5. The subject site is developed with a gas station, “Forest Hill Gas Station.”
6. This project has been determined to be CEQA Exempt under CEQA Guidelines 15301.

FINDINGS

1. The proposed development will meet the regulations set forth in the C-FH zoning district including sign standards, and;
2. The general appearance of the completed project is compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing building and other buildings in the neighborhood, and;
3. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
4. The Staff have been guided by and made reference to applicable provisions of Chapter 20.04 in making its determinations on signs.

PERMIT

Sign Permit (SP) #15-759 to allow:

An illuminated can sign of 36.8 square feet (8 feet 10 inches width by 4 feet 2 inches height) for the “Extra Mile” logo per Pacific Grove Municipal Code 20.04:

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.

4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans for “One Stop Gas & Food Mart” dated November 12, 2015, on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Stormwater Treatment Measure:** The stormwater treatment measures shall be maintained by the property owner in perpetuity and City of Pacific Grove staff shall be allowed access to inspect all stormwater treatment measures on an annual basis.
7. **Building Plans:** All conditions of approval for the Planning permit(s) shall be printed on a full size sheet and included with the construction plan set submitted to the Building Department.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes Approval of SP 15-759 to allow an illuminated can sign of 36.8 square feet (8 feet 10 inches width by 4 feet 2 inches height) for the “Extra Mile” logo.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 8th day of December, 2015, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Rick Steres, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Mahesh Konduru, Owner

Date



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NOTICE OF EXEMPTION FROM CEQA

6a

Property Address/Location: 1152 Forest Ave, Pacific Grove, CA 93950

Project Description: SP 15-759

Description: To allow an illuminated can sign of 36.8 square feet (8 feet 10 inches width by 4 feet 2 inches height) for the “Extra Mile” logo.

APN: 007-651-022

ZC: C-FH GP: Commercial Lot Size: 16,537.15 square feet

Applicant Name: Mahesh Konduru Phone #: (209) 423-1420

Mailing Address: 1152 Forest Ave. Pacific Grove, CA 93940

Email Address: DrKonduru@yahoo.com

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One):

- ☐ Ministerial (Sec. 21080(b)(1):15268))
- ☐ Declared Emergency (Sec. 21080(b)(3): 15269(a))
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- ☐ Categorical Exemption

Type and Section Number: Categorical Exemption - Section 15301

Exemption Findings:

The project includes the the addition of 2,015 square feet, and therefore qualifies for a Categorical Exemption from CEQA requirements, pursuant to Section 15301(e)(1) – Existing Facilities.

The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

Contact: Wendy Lao, Assistant Planner **Contact Phone:** (831) 648-3185

Signature:

Date: December 1, 2015

1152 FOREST AVENUE
PACIFIC GROVE, CA 93950
A.P.N. 007-651-022-000

The Paul Davis Partnership, LLP
286 Eldorado Street
Monterey, CA 93940
(31) 373-2784 FAX (831) 373-7459
IL: info@pauldavispartnership.com

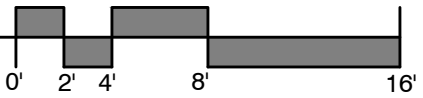
- ## NOTES

- 11/11/2016

Revisions:

Sheet Number:

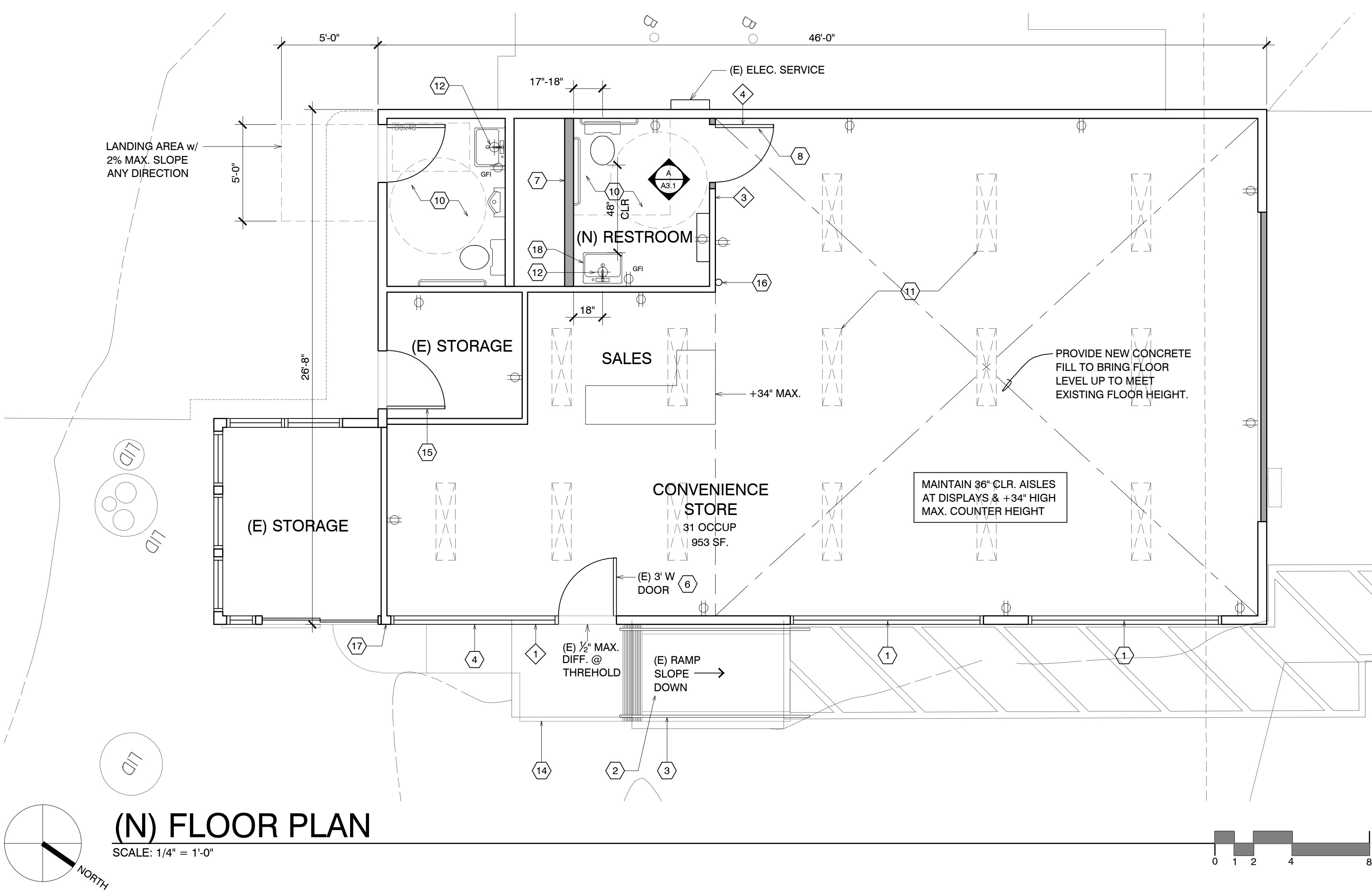
SCALE: 1/8" = 1'-0"



ONE STOP GAS
& FOOD MART
1152 FOREST AVENUE
PACIFIC GROVE, CA 93950
A.P.N. 007-651-022-000

THE
PAUL DAVIS
PARTNERSHIP
ARCHITECTS & PLANNERS

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EMAIL: info@pauldavispartnership.com



SHEET NOTES

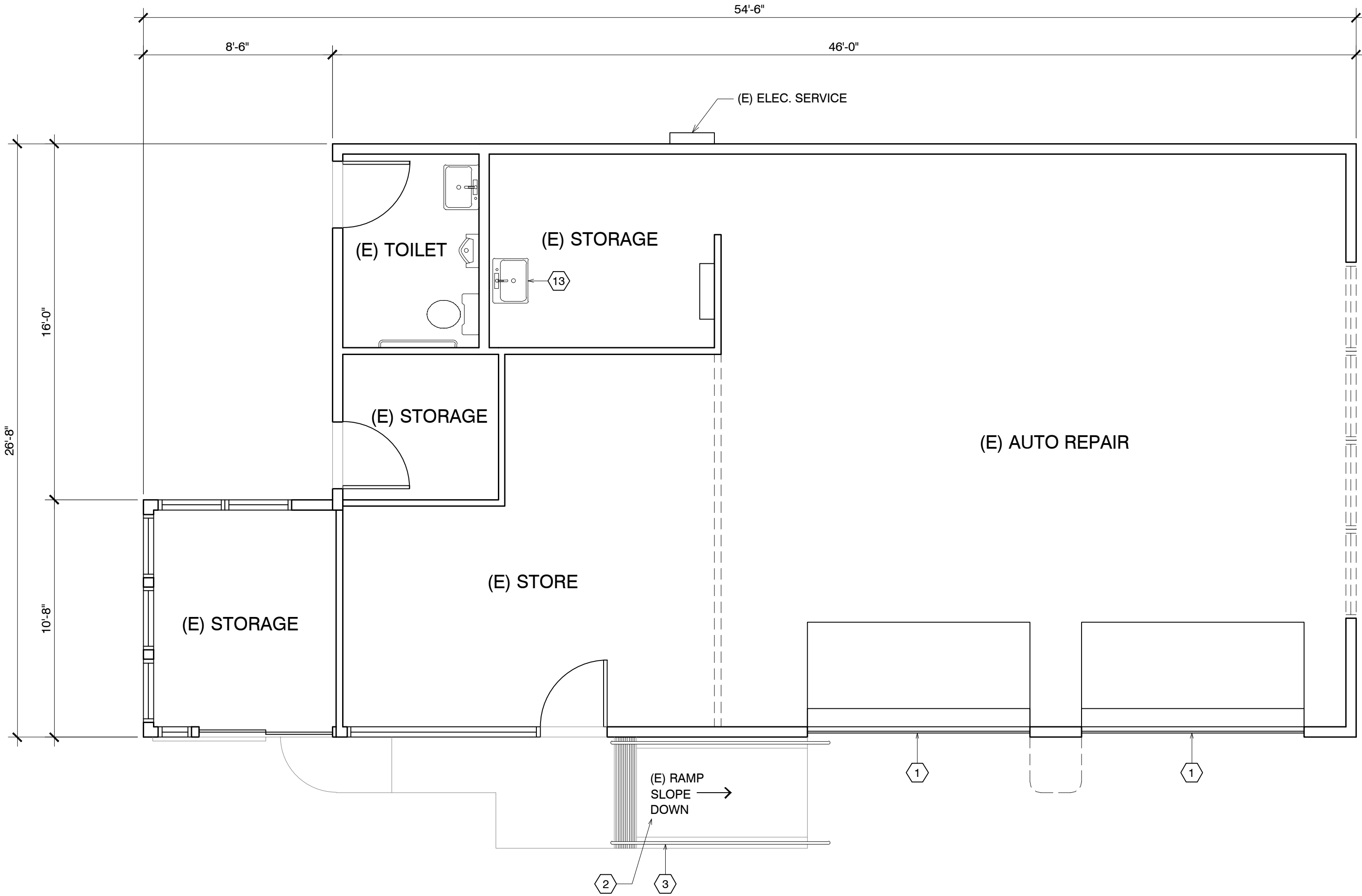
- (E) ROLL-UP DOORS TO REMAIN
- (E) ACCESSIBLE RAMP
- (E) HANDRAIL
- PAINT (E) STEEL STOREFRONTS
- (E) STEEL WINDOWS TO REMAIN
- VERIFY IF (E) DOOR HARDWARE IS COMPLIANT
- (N) FURRED WALL
- (N) 3'-0" WIDE DOOR
- (N) FLAT THRESHOLD w/ MAX 1/4" HEIGHT
- (N) RESILIENT SHEET FLOOR ON (N) MOISTURE RESISTANT SHEETROCK
- (N) LIGHTING ABOVE, TYP. SEE T-24 CALCS
- (N) WALL MOUNTED LIGHT
- REMOVE (E) SERVICE SINK
- (E) 1-RISER, PAINT NOSING w/ 2" WHITE STRIPE
- (E) DOOR TO REMAIN
- WALL HUNG FIRESPRINKLER (2A 10-BC) AT + 48" ABOVE FLOOR
- KNOX BOX - CONTACT P.G. FIRE FOR FORMS AND VERIFY FINAL LOCATION WITH THE FIRE DEPARTMENT
- (N) SINK

GENERAL NOTES:

- PROVIDE ELECTRICAL OUTLETS AS REQUIRED. COORDINATE WITH FIXTURES, APPLIANCES AND EQUIPMENT.

(N) FLOOR PLAN

SCALE: 1/4" = 1'-0"



(E) FLOOR PLAN / DEMO PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS

- DUPLEX OUTLET
- HALF SWITCHED OUTLET
- DEDICATED CIRCUIT (20 amps)
- 220 VOLT OUTLET
- 4 PLEX OUTLET
- OUTLET w/ GROUND FAULT CIRCUIT INTERRUPTER
- OUTLET WITH WEATHERPROOF ENCLOSURE & GFI
- FLOOR MOUNTED OUTLET
- TELEPHONE JACK
- HIGH SPEED DATA LINE
- FLOOR MOUNTED TEL JACK
- FLOOR MOUNTED DATA OUTLET
- THERMOSTAT CONTROL
- TELEVISION CABLE
- DOORBELL
- CENTRAL VACUUM OUTLET
- GAS OUTLET
- KEY VALVE
- HOSE BIBB VALVE
- WALL MOUNTED AIR SUPPLY REGISTER
- RETURN AIR REGISTER
- FLOOR MOUNTED SUPPLY AIR REGISTER

NOTES:

- NOT ALL THE ABOVE SYMBOLS ARE NECESSARILY USED FOR THIS WORK.
- ELECTRICIAN TO CONDUCT AN ON-SITE WALK THROUGH WITH OWNERS TO DETERMINE FINAL FIXTURE LOCATIONS.
- PLUMBING PIPELINES UTILIZED AS AN ELECTRICAL GROUND ARE PROHIBITED.

WALL LEGEND

- EXISTING WALLS TO REMAIN
- PROPOSED NEW WALLS
- EXISTING WALLS TO BE DEMOLISHED

Drawn By: VQ

Drawing Date: 11/12/15

Project Number: 1440

Revisions:

The use of these plans and specifications is restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Re-use, reproduction or publication by any method in whole or in part is prohibited. Title to the plans and specifications remains with the architect, and visual contact with them constitutes prima facie evidence of the acceptance of the restrictions.

Sheet Title:
(E) FLOOR PLAN /
DEMO PLAN
(N) FLOOR PLAN

Sheet Number:

ONE STOP GAS & FOOD MART

1152 FOREST AVENUE
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Drawn By: VQ
Drawing Date: 11/12/15
Project Number: 1440

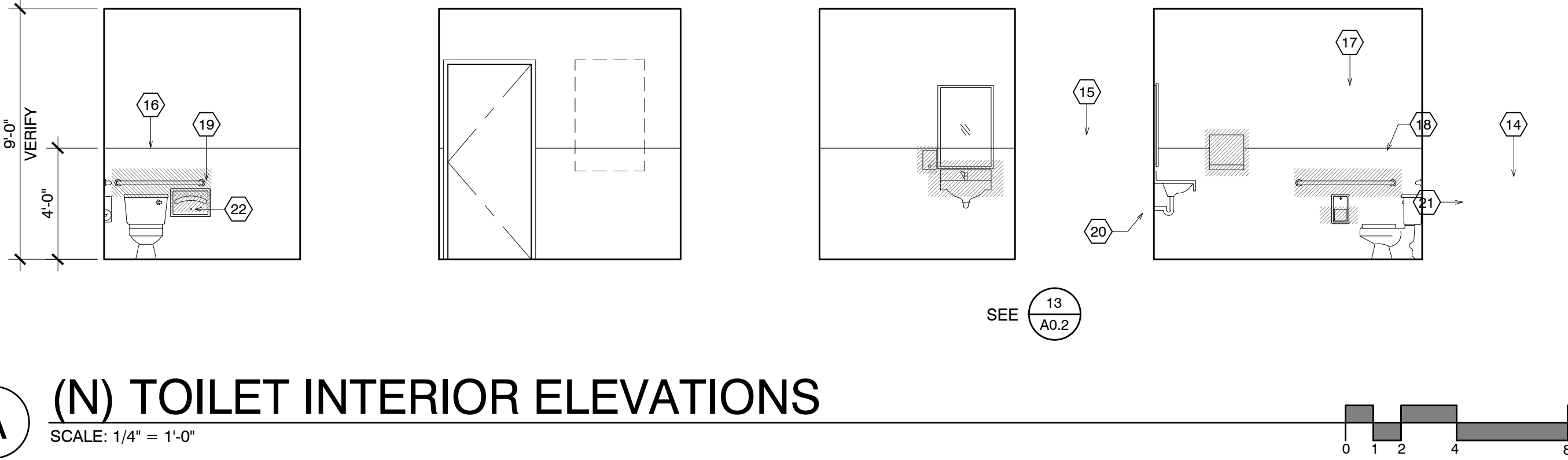
Revisions:

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Sheet Title:
(N) EXTERIOR ELEVATIONS

Sheet Number:

A3.1

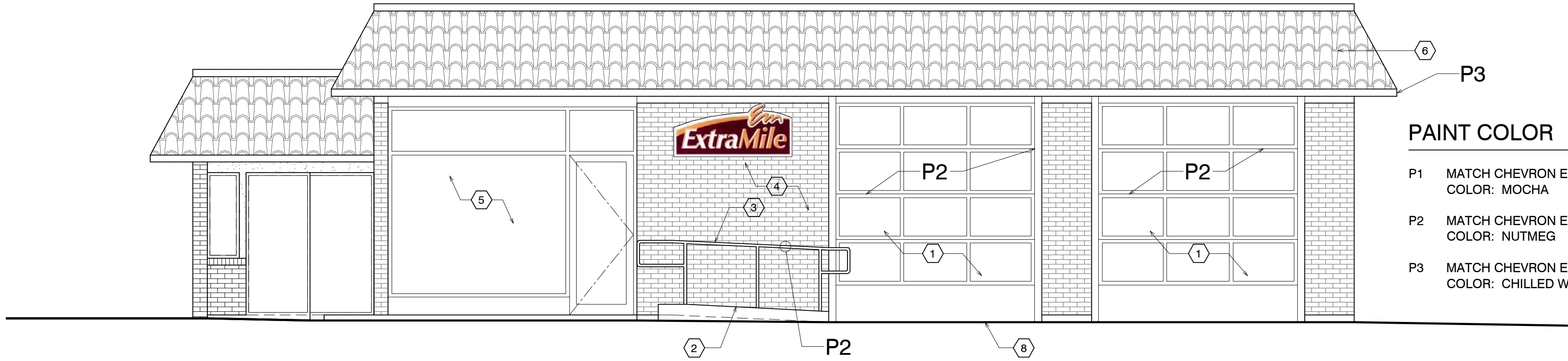


(N) TOILET INTERIOR ELEVATIONS

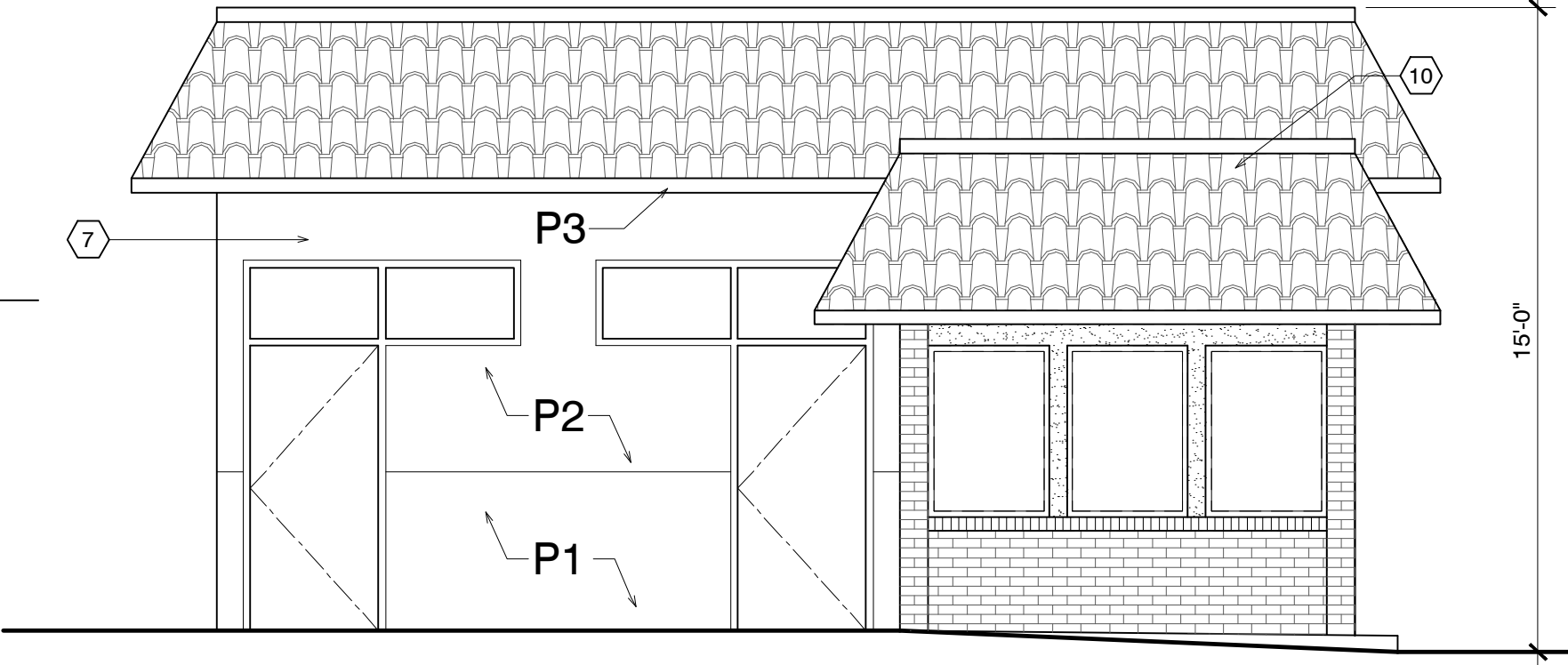
SCALE: 1/4" = 1'-0"

SHEET NOTES

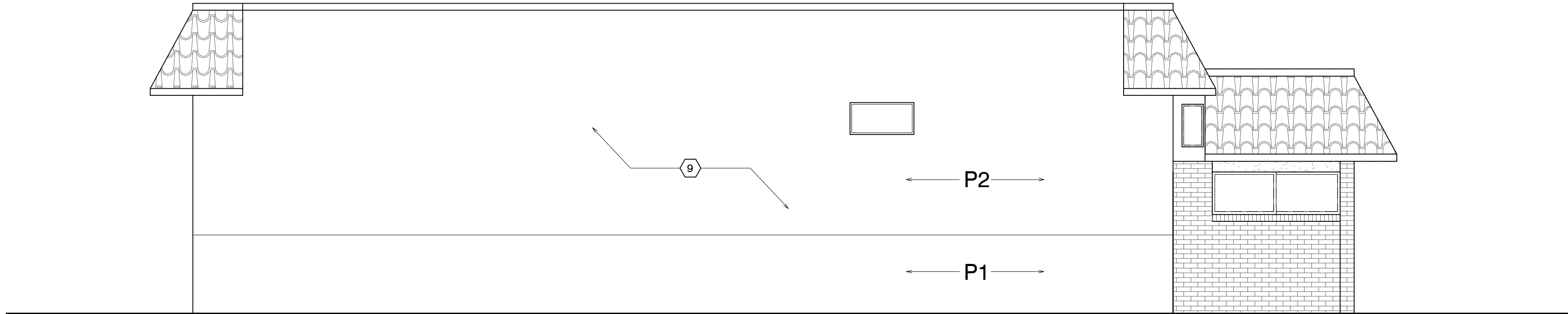
- (E) ROLL-UP DOOR
- (E) RAMP
- (E) HANDRAIL
- (E) BRICK WALL
- (E) STEEL STOREFRONT
- (E) CONC. TILE MANSARD ROOF
- (E) PLASTER WALL
- (N) CONCRETE FLOOR FILL WITH NEW THRESHOLD AT EXISTING DOOR
- PAINT EXISTING STEEL WALL PANEL SIDING
- PATCH TILE ROOF TO MATCH EXISTING
- EXISTING STEEL WINDOWS
- CHANGE GLASS TO OPAQUE PANEL
- EXTEND (E) BRICK TO WINDOW
- AREAS TO RECEIVE SOLID 2x BLOCKING FOR MOUNTING OF ACCESSORIES- COORDINATE EXACT MOUNTING HEIGHTS WITH SPECIFICATIONS.
- HAND DRYER / PAPER TOWEL DISPENSER
- WAINSCOT / FRP
- MIRROR
- SOAP DISPENSER
- GRAB BAR, TYP
- ALL HOT WATER AND ALL DRAIN PIPES MUST BE INSULATED OR OTHERWISE COVERED
- TOILET SEAT COVER DISPENSER
- TOILET PAPER DISPENSER



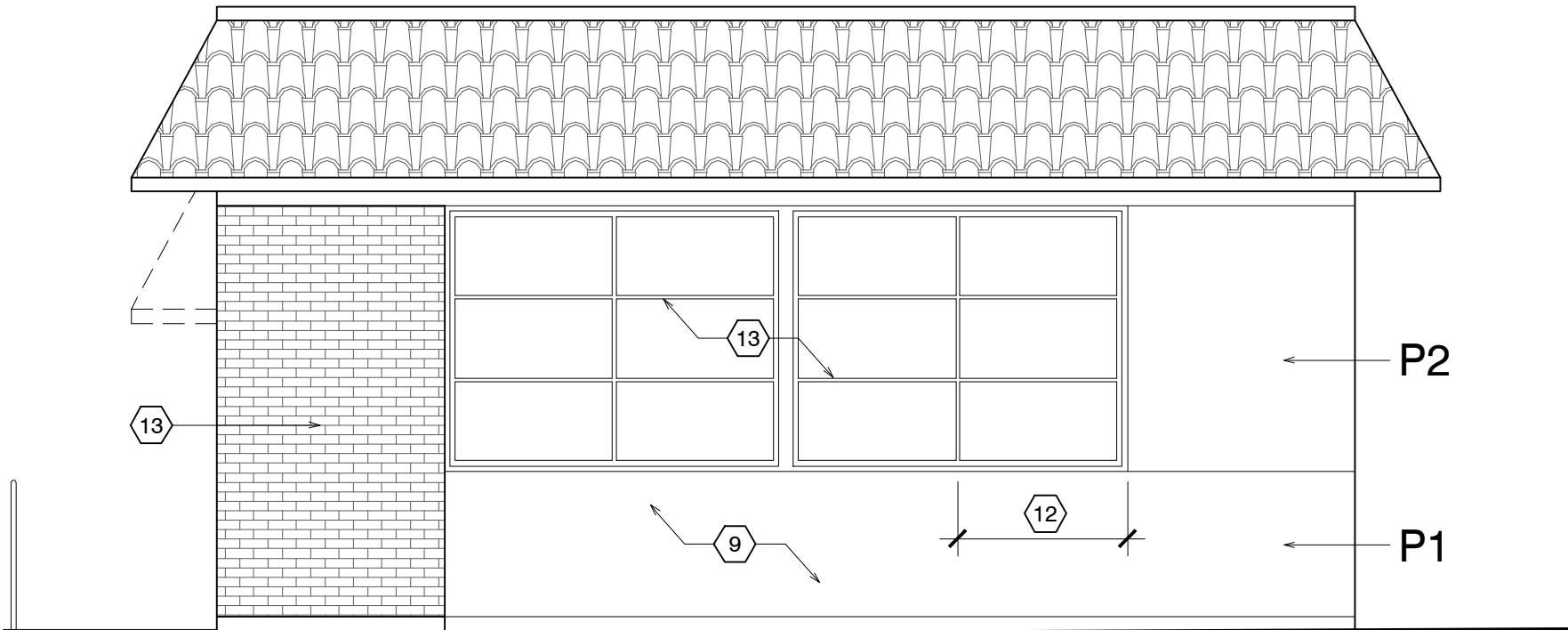
EAST ELEVATION



SOUTH ELEVATION



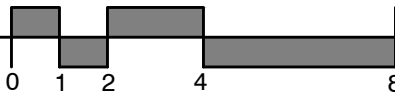
WEST ELEVATION



NORTH ELEVATION

(N) EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"



Building Exterior Signage

ExtraMile®

Exterior Illuminated Store Signage



ExtraMile Illuminated Building Can Sign (preferred)



ExtraMile Illuminated Channel Letters (with mounting panel)



(Table 3.1)

Illuminated Building Sign Size Options				
Type	Description	Width	Height	Area Sq. Ft.
Can Sign - Large	Fascia Height > 5'-6"	10'-5"	4'-10"	50.3
Channel - Large	Fascia Height > 5'-6"	10'-11"	5'-1"	53.0
Can Sign - Medium	Fascia Height 5'-1" - 5'-6"	8'-10"	4'-2"	36.8
Channel - Medium	Fascia Height 5'-1" - 5'-6"	8'-9"	4'-0"	35.3
Can Sign - Small	Fascia Height < 5'-0"	7'-6"	3'-6"	26.3
Channel - Small	Fascia Height < 5'-0"	6'-8"	3'-0"	20.0

- The ExtraMile Franchise requires the installation of an illuminated ExtraMile building sign, which is typically installed directly to the building fascia and centered over the primary store entrance. It should be located to provide maximum on-site visibility.
- The ExtraMile illuminated building can sign is Maroon and Butterscotch and is internally illuminated with fluorescent lamps.
- ExtraMile signs are available in three different sizes: large, medium and small. The preferred size option is the largest that local codes will allow.
- ExtraMile channel letters are available for sites where can signs are prohibited by local codes.
- Channel letters should be mounted on Maroon staging panel. Staging panels are available from approved sign suppliers.



6a



JONES-BLAIR®
INDUSTRIAL COATINGS
PAINT CARD 5-09

EXTERIOR COLORS



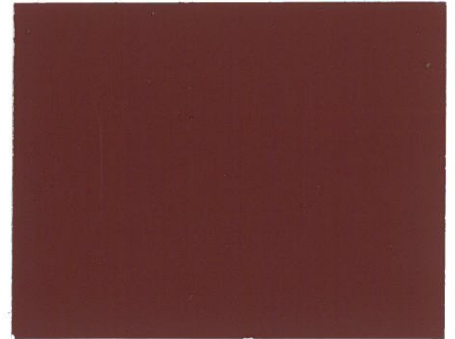
Nutmeg

Bottom



Café Au Lait

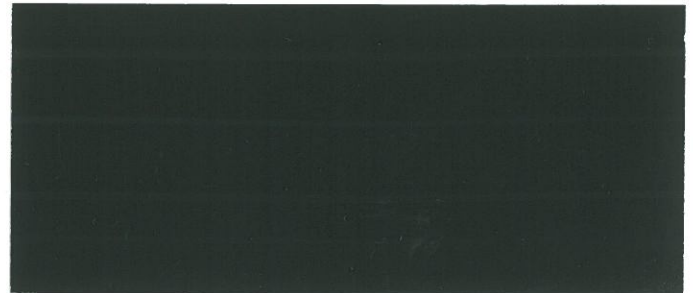
Cafe Au Lait



Chilled Wine

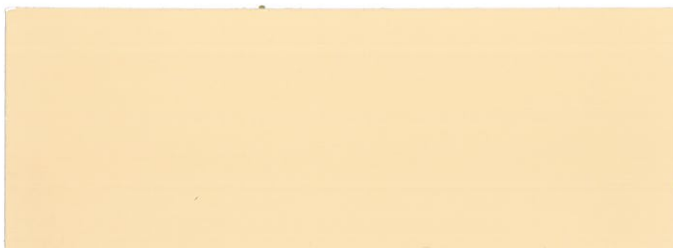


Mocha



Noir

INTERIOR COLORS



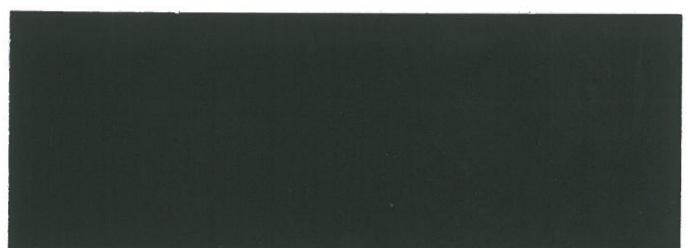
Interactive Cream



Sable



Darkroom



Noir

Note: Turn Card Over For Additional Information

ExtraMile Paint & Finish Schedule		Color	Description & Item Codes
Identification Sign Colors:			
Maroon, ID sign background	PMS 209	NOTE: Contact Jones-Blair for SoCal products due to different VOC requirements.	
Butterscotch, ID sign logo, wordmark, arch	PMS 7408		
Beige, ID sign background	PMS 4755		
Opaque Natural Beige, ID sign borders & APC sign background	to match Spraylat Lacryl L5-9358 acrylic paint		
Exterior Building Paint Colors			
Building Fascia & Proscenium	Café Au Lait	Recommended: Jones-Blair Semi-gloss urethane # A3W8007 Minimum standard: Jones-Blair Acrylic Semi-gloss #RHW-D80069	
Building Body, Tower, Trash enclosure	Nutmeg	Recommended: Jones-Blair Semi-gloss urethane #A3W8006 Minimum standard: Jones-Blair Acrylic Semi-gloss #RHW-D80070	
Accent Stripe below Fascia (re-formulated color)	Chilled Wine	Recommended: Jones-Blair Semi-gloss urethane #A3N-D10101 Minimum standard: Jones-Blair Acrylic Semi-gloss #RHN-D10101	
Building Wainscot	Mocha	Recommended: Jones-Blair Semi-gloss urethane #A3N7002 Minimum standard: Jones-Blair Acrylic Semi-gloss #RHN-D80071	
POP Sign Frames	Noir	Recommended: Jones-Blair Semi-gloss urethane #45637-CA Minimum standard: Jones-Blair Acrylic Semi-gloss #RHN-D60118	
Canopy Under Deck Ceiling (if repainting)	White	Jones-Blair #45011-CA Urethane. Do Not Use Latex Paint	
Interior Building Paint Colors			
Interior Walls, Doors & Trim	Interactive Cream	Jones-Blair Semi-gloss Acrylic RHW-D80073	
Interior Food Service walls (where space prevents dark graphics from being installed, e.g. Island Marketer buildings)	Sable	Jones-Blair Semi-gloss Acrylic #RHN-D80074	
Interior Wall Base	Darkroom	Jones-Blair Semi-gloss Acrylic #RHN-D80075	
Cabinetry & Slatwall	Noir	Jones-Blair Semi-gloss Acrylic #RHN-D60118	
Yard & Drive:			
Light Poles	GY-210 Dk. Gray	Jones-Blair Urethane Dk.Gray Gloss	
Vent Risers	GY-210 Dk. Gray	Jones-Blair Urethane Dk.Gray Gloss	
Curbs	GY-210 Dk. Gray	Jones-Blair Urethane Dk.Gray Gloss	
Bollards/Safety Poles	45011-CA White	Jones-Blair Urethane White Semi-gloss	
Misc.:			
Trash Enclosures, remote	Nutmeg	Recommended: Jones-Blair Semi-gloss urethane #A3W8006 Minimum standard: Jones-Blair Acrylic Semi-gloss #RHW-D80070	
Trash Enclosures, attached to building wainscot	Nutmeg w/ Mocha	Recommended: JB Semi-gloss urethane A3W8006/A3N7002 Minimum standard: JB Acrylic latex #RHW-D80070/RHN-D80071	
Ancillary Buildings (ie. Car Wash, Restroom, Auto Service)	Café Au Lait,	Recommended: Semi-gloss urethane	
Chilled Wine accent stripe is NOT used.	Nutmeg & Mocha	Minimum standard: Acrylic Semi-gloss	
Restroom Doors	Nutmeg	Recommended: Jones-Blair Semi-gloss urethane A3W8006 Minimum standard: Jones-Blair Acrylic Semi-gloss #RHW-D80070	

Customer Service Ordering Information:

Attn: Elida Espinoza, Email: sales@jones-blair.com
1-800-492-9400 or Direct 214-353-1604
Toll Free Fax: 1-800-325-7540

Technical Assistance: Cell: 214-676-7000

Will Dryden, Email: wdryden@jones-blair.com
Direct: 214-353-1634
1-800-492-9400 Fax: 214-350-7624



JONES-BLAIR
INDUSTRIAL COATINGS